



Inspection Report

Inspection Date: 12/1/2010

Commercial Property Sample Report

Property Address:

Street

City State Zip



All In One Home Inspection LLC

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Table of Contents

[Cover Page](#)

[Table of Contents](#)

[Intro Page](#)

[1 Exterior](#)

[2 Roofing, Roof Structure, Chimneys, and Attic](#)

[3 Garage](#)

[4 Stores/Offices/Suites](#)

[5 Electrical System for Building](#)

[6 Plumbing System for Building](#)

[7 Heating / Central Air Conditioning - House](#)

[8 Structural Components](#)

[General Summary](#)

[Back Page](#)

Date: 12/1/2010	Time: 9:00:00 AM	Report ID: Commercial Property Sample Report
Property: Street City State Zip	Customer: Commercial Property Sample Report	Real Estate Professional:

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this building. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this building or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Style of Building:
Commercial

Age Of building:
Over 40 Years, Recently Renovated

Building Faces:
Eastern Direction

Client Is Present:
Yes

Agent is Present:
Yes

Weather:
Cloudy, Snow

Temperature:
Below 32

Rain in last 3 days:
Yes

Property Occupied:
No

1. Exterior

The building inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building.

The building inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected.

The building inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks.

The building inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Styles & Materials

Siding Material:

EIFS

Exterior Entry Doors:

Single pane

Steel

Driveway:

Asphalt

Window Types:

Double-hung

Front Entryway:

Sidewalk

Parking:

Driveway

Parking Lot

Street Parking

Outlet Style:

None

Side and/or Rear Entryway:


Areaway

Driveway


Inspection Items

1.0 WALL CLADDING, FLASHING AND TRIM

Comments: Repair or Replace

-  (1) The subject house appears to be clad with a product known as Exterior Insulation Finish Systems, "EIFS," also referred to as "Synthetic Stucco." EIFS trim and siding is generally not considered a problem if exposed surfaces are in good condition and where the EIFS trim meets the siding the sealant is without gaps or cracks. Annual maintenance recommendations for EIFS trim and siding includes visually examining and repairing damage to the EIFS trim and the sealant.

Many EIFS clad homes or buildings have revealed moisture related problems such as deteriorated wood sheathing and framing from moisture leakage past EFIS trim and siding. The EFIS trim and siding tends to trap and hold moisture behind siding against sheathing and framing. Testing of this cladding is beyond the scope of this inspection. Maintenance and testing guidelines are available from the EIFS Industry Members Association, www.eima.com. Additional information about EIFS stucco is also available at http://en.wikipedia.org/wiki/Exterior_Insulation_Finishing_System and the Consumer Reports website <http://www.consumerreports.org> (type Stucco in the search field).

-  (2) EFIS siding should terminate 6" to 12" above grade level so it does not draw water up into wall. Water in the wall can lead to algae buildup on EFIS siding, mold buildup behind EFIS siding, and rot in wood siding and structural components. A lower trim piece called a drip screed is missing. The drip screed provides a finished edge, allows drainage and prevents water from being drawn up into wall. Evaluation and repair recommended by a qualified EFIS siding contractor.



1.0 Picture 1



1.0 Picture 2



1.0 Picture 3

- 🏠 (3) The EFIS siding has nicks, dings or holes in several places. Repair siding to prevent the ingress of insects or moisture past siding to damage the interior spaces of home. Evaluation and repair recommended by a qualified EFIS siding contractor.



1.0 Picture 4



1.0 Picture 5



1.0 Picture 6



1.0 Picture 7

- 🏠 (4) The EFIS siding has a hole where the communication wire has pulled out. Repair siding to prevent the ingress of insects or moisture past siding to damage the interior spaces of home. Evaluation and repair recommended by a qualified EFIS siding contractor.



1.0 Picture 8

- 🏠 (5) The gap between the electrical conduit and siding needs closing off with sealant or liquid foam to prevent the ingress of moisture, insects and vermin.



1.0 Picture 9

- 🏠 (6) EFIS siding at grade level is damaged from lawn maintenance equipment. EFIS siding should terminate 6" to 12" above grade level so it does not draw water up into wall. A lower trim piece called a drip screed is missing. The drip screed provides a finished edge, allows drainage and prevents water from being drawn up into wall. Evaluation and repair recommended by a qualified EFIS siding contractor.

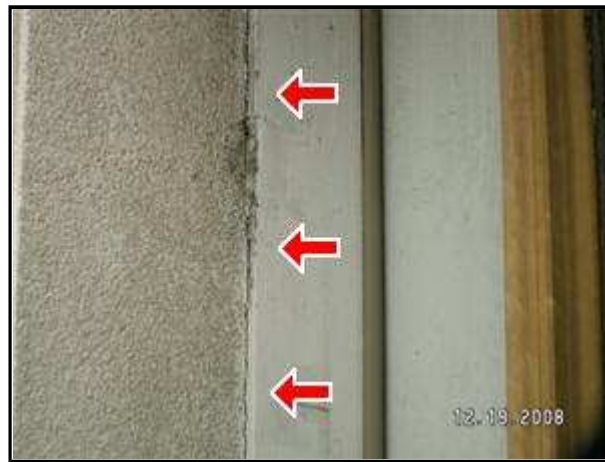


1.0 Picture 10



1.0 Picture 11

- 🏠 (7) The gaps and cracks where the EFIS siding meets the door and window frames caulked to prevent the ingress of damage causing moisture behind siding. Moisture behind siding can lead to rot and mold build up of siding and structural components.



1.0 Picture 12

- 🏠 (8) The EFIS siding has been installed around the fence post. The gaps and cracks where the EFIS siding meets the fence post should be caulked to prevent the ingress of damage causing moisture behind siding. Moisture behind siding can lead to rot and mold build up of siding and structural components.



1.0 Picture 13

1.1 EAVES, SOFFITS AND FASCIAS


Comments: Repair or Replace

- 🏠 The eave trim is loose. Refasten trim to prevent ingress of moisture and insects to interior spaces.



1.1 Picture 1

1.2 PLUMBING WATER FAUCETS (hose bibs)**Comments:** Inspected**1.3 RECEPTACLES, SWITCHES AND LIGHTS ON EXTERIOR WALLS OF INSPECTED STRUCTURE****Comments:** Repair or Replace

-  Exterior lights do not illuminate. The bulbs may be burned out, the switches broken or the lamp light sockets broken. Replace bulbs and try to operate lamp, otherwise repair recommended by a licensed electrician.



1.3 Picture 1




1.3 Picture 2



1.3 Picture 3


1.4 EXTERIOR VENTS**Comments:** Repair or Replace

-  The exhaust vent is missing its flapper or louvers. Vermin and insect ingress past the vent opening is possible unless repaired or replaced by a qualified person or contractor.




1.4 Picture 1

1.5 WINDOWS (Exterior)**Comments:** Repair or Replace

-  Screens missing from several windows. Replace to prevent the ingress of insects and vermin when windows are open.

1.6 ENTRY DOORS & DOOR BELLS, INTERCOMS AND/OR DOOR BUZZERS**Comments:** Repair or Replace

-  The door latch is stuck closed. Unable to open door at time of inspection. Recommend repair by a qualified person or contractor.

The striker plate is missing from the door frame. The door frame will become damaged trying to hold the door closed. Recommend replacement by qualified person or contractor.




1.6 Picture 1



1.6 Picture 2

1.7 STEPS, STOOPS AND APPLICABLE RAILINGS**Comments:** Not Present**1.8 PORCHES AND APPLICABLE RAILINGS****Comments:** Not Present**1.9 WALKWAYS AND AREAWAYS (With respect to their effect on the condition of the building)****Comments:** Repair or Replace

-  (1) The front walk has a low spot where water puddles by the front door. Puddling water may damage the nearby EFIS siding and seep past the front door sill. Dirt collecting at door sill may be wind driven or from splashing water on walk area. Puddled water by front door is a walking and slipping hazard. I recommend repairing the front walk so that water drains away.



1.9 Picture 1



1.9 Picture 2


-  (2) The walk has cracks and is uneven. Tripping hazard present. I recommend repair by a qualified contractor.



1.9 Picture 3

1.10 DRIVEWAYS (With respect to their effect on the condition of the building)

Comments: Repair or Replace


-  (1) The driveway is cracked, pitted and crumbling. Slipping and tripping hazards are present. Driveway is in need of replacement.



1.10 Picture 1



1.10 Picture 2

-  (2) Driveway overgrown with weeds. Recommend removal to prevent tripping hazards. The weeds are growing up between cracks in driveway. Recommend replacing driveway to prevent further weed growth.



1.10 Picture 3

1.11 VEGETATION (With respect to their effect on the condition of the building)

Comments: Inspected

1.12 GRADING AND DRAINAGE (With respect to their effect on the condition of the building)

Comments: Inspected

1.13 FENCES (With respect to their effect on the condition of the building)

Comments: Repair or Replace



The fencing gate is damaged. The gate is in need of repair to swing closed and latch for security. Recommend repair or replacement by a qualified fence contractor.



1.13 Picture 1

The exterior of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Roofing, Roof Structure, Chimneys, and Attic

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. Also observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control.

The home inspector shall: Describe the type of roof covering materials. Also describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces.

The home inspector shall: Report the methods used to observe the roofing. Also shall: Move insulation when readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches and at exterior doors.

The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors. Also not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

Viewed roof covering from:

Binoculars
Ground

Roofing Layers:

One

Sky Light(s):

None

Attic Spaces:

One

Roof Structure:

Not visible

Roof-Type:

Gable

Roof Age Estimated:

Less than 5 Years

Roof Ventilation:

Ridge vents
Soffit Vents

Attic info:

Not Accessible

Ceiling Structure:

Not Visible, Hidden from View

Roof Covering:

Asphalt Shingle

Chimney (exterior):

PVC

Method used to observe attic:

Inaccessible

Attic Insulation:

Not Visible, Hidden from View

Inspection Items

2.0 ROOF COVERINGS

Comments: Inspected

2.1 ROOF FLASHINGS

Comments: Inspected

2.2 ROOF PENETRATIONS

Comments: Repair or Replace

- 🏠 The flashing boot around the plumbing vent pipe appears to be pushed in. The flashing boot may collect and seep moisture into the attic and interior spaces of home. The flashing around the plumbing vent needs repair.



2.2 Picture 1

2.3 SKYLIGHTS

Comments: Not Present

2.4 ROOF DRAINAGE SYSTEMS

Comments: Repair or Replace

- 🏠 (1) Drainage around downspout and leader appears to puddle against foundation. Puddling against foundation can cause damage to structure and leakage into basement or crawlspace areas. Recommend regrading earth around structure and/or extending leaders to carry rain water further from foundation area.



2.4 Picture 1

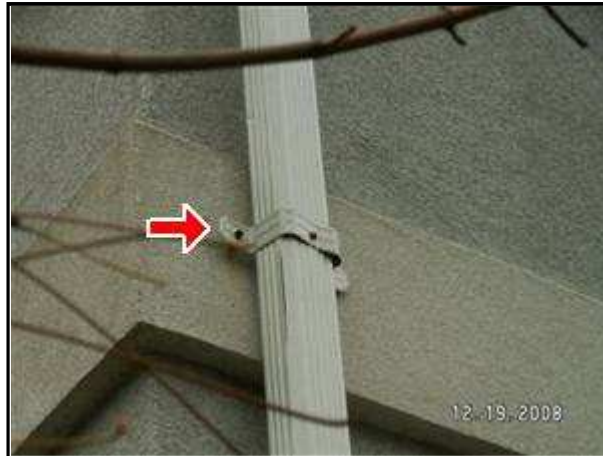


2.4 Picture 2



2.4 Picture 3

- 🏠 (2) Downspout brackets are loose in several places leaving the downspouts with limited support. Repair brackets so that downspouts remain in place.



2.4 Picture 4

2.5 CHIMNEYS (EXTERIOR)

Comments: Inspected

2.6 ROOF VENTILATION (GABLE, SOFFIT, RIDGE & WINDOWS)

Comments: Inspected

2.7 ROOF STRUCTURE (report leak signs or condensation)

Comments: Inspected

2.8 ATTIC ACCESS

Comments: Not Present

2.9 ATTIC INSULATION

Comments: Not Inspected

2.10 VISIBLE ELECTRIC WIRING IN ATTIC

Comments: Not Inspected

2.11 BATHROOM EXHAUST VENTS

Comments: Not Inspected

2.12 VENTILATION FANS THERMOSTATIC CONTROLS (ATTIC)

Comments: Not Present

The roof and attic of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Garage

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of cabinets; and A representative number of doors and windows.

The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.

The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Garage Style:

Detached

Garage Door Type:

Two automatic

Garage Door Material:

Insulated

Metal

Auto-opener Manufacturer:

GENIE

LIFT-MASTER

Auto-Opener Safety Features:

Not Tested, Opener Inoperative

Outlet Style:

3 Prong Regular

Heat Source:

None

Roof-Type:

Gable

Roof Covering:

Asphalt Shingle


Roofing Layers:

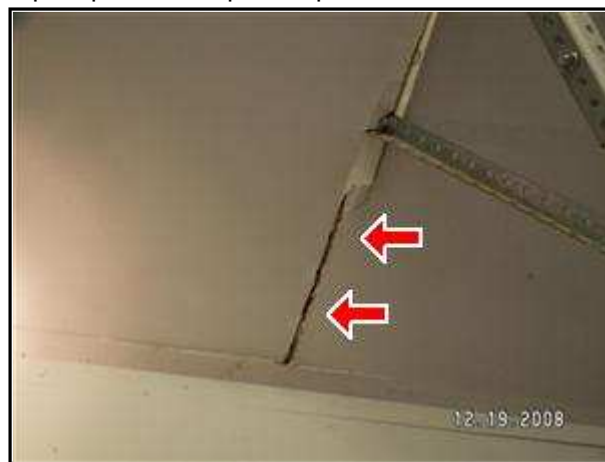
Two

Inspection Items

3.0 GARAGE CEILINGS

Comments: Repair or Replace

 Cracks in the sheet rock in of tape, spackle and paint repairs.



3.0 Picture 1

3.1 GARAGE WALLS (INCLUDING FIREWALL SEPARATION)

Comments: Inspected

3.2 GARAGE FLOOR

Comments: Repair or Replace

 Signs of debris and moisture stains present on garage floors. The garage door may have been left open for the

collection of debris. Repair door seals and drainage around front of garage door to prevent further moisture penetration. The garage door may have been left open for the collection of debris.



3.2 Picture 1

3.3 GARAGE DOOR (S)

Comments: Inspected

3.4 GARAGE DOOR OPERATORS (Report whether or not doors will reverse when met with resistance)

Comments: Repair or Replace

- 🏠 (1) Left Side - The safety beam is not mounted on wall. The garage door does not want to close when operated. Repair needed for safety and normal operation of garage door.



3.4 Picture 1

- 🏠 (2) Right Side - The automatic door opener safety beam is out of alignment or has a dirty sensor lens causing the garage door to not close. The beam needs to be realigned or repaired to allow normal opening and closing.



3.4 Picture 2



3.4 Picture 3

3.5 OCCUPANT DOOR FROM GARAGE TO INSIDE STRUCTURE**Comments:** Not Present**3.6 GARAGE WINDOW(S)****Comments:** Repair or Replace

- 🏠 Windows have been secured with a material that does not appear to be a traditional exterior siding material. Recommend evaluation and repair by a qualified siding contractor or general contractor.



3.6 Picture 1



3.6 Picture 2



3.6 Picture 3

3.7 OUTLETS, LIGHTING AND WALL SWITCHES IN GARAGE**Comments:** Inspected**3.8 PRESENCE OF INSTALLED HEAT SOURCE****Comments:** Not Present**3.9 GARAGE STRUCTURE - ROOF STRUCTURE, WALL FRAMING AND FOUNDATION****Comments:** Repair or Replace

- 🏠 (1) Vermin damage present in several areas around foundation. Vermin have dug through earth to enter closed garage area. Sills, framing and sheet rock walls have been damaged. Rot present in sill boards along back wall. Recommend evaluation and repair of sills, walls and framing by a general contractor. Recommend removal of vermin by a qualified pest control contractor.



3.9 Picture 1



3.9 Picture 2



3.9 Picture 3

- 🏠 (2) The sill plate in the left front corner is rotted and crushed. Signs of wood destroying insect damage present. Sill plates are in need of evaluation and repair by a general contractor. Recommend treatment for the control of wood destroying insects.



3.9 Picture 4

- 🏠 (3) The attic access is sealed, the attic was not observable at time of inspection. Recommend installing an attic access hatch.



3.9 Picture 5

3.10 GARAGE EXTERIOR & ROOF (Materials, Vents and Drainage)

Comments: Repair or Replace

- 🏠 (1) Birds nest present in exterior wall of garage. Recommend nest removal and siding repair by a qualified siding contractor.



3.10 Picture 1

- 🏠 (2) The fascia board is detached and lifting from ends of roof rafters. The fascia board appears to be lifting enough to damage and twist gutters. The fascia needs to be reattached and the gutter refastened for proper roof drainage to occur.



3.10 Picture 2



3.10 Picture 3

- 🏠 (3) The eave trim is missing, the fascia board appears rotted and weathered. Refasten trim to prevent ingress of damage causing moisture and insects to interior spaces.



3.10 Picture 4

- 🏠 (4) Vinyl siding below grade level. Siding below grade level will remain moist and be a path for the entrance of Wood Destroying Insects (WDI). Re-grade earth around garage so that siding is above soil/debris and a some foundation is exposed making it more difficult for WDI to enter.



3.10 Picture 5



3.10 Picture 6

- 🏠 (5) Downspouts are missing. Water may run down siding, splash against foundation and puddle against foundation during rain storms. Puddling water against foundation may leak into basement causing moisture damage. Downspout repair is recommended.



3.10 Picture 7



3.10 Picture 8


- 🏠 (6) Garage door trim is damaged. The door trim helps hold siding in place and helps guide rain running down siding. Trim is in need of replacement by a qualified siding contractor.



3.10 Picture 9




3.10 Picture 10

-  (7) The gutters are full of debris in areas and needs to be cleaned. Debris in gutters are blocking downspouts, causing gutter overflows and rain splatter onto siding and foundation. Cleaning of gutters is recommended to prevent unwanted water damage to exterior and interior of home. Consider installing gutter guards to help prevent build up of debris in gutters.




3.10 Picture 11

-  (8) The holes in the siding should be repaired or replaced by a qualified siding contractor to prevent the ingress of moisture, insects or vermin.



3.10 Picture 12


-  (9) Several fasteners are popped up under the shingles of the roof's surface. These fasteners should be driven back down before they puncture through the overlaying shingle, shortening the life of the shingles and causing leakage. I recommend repair by a qualified roofing contractor.



3.10 Picture 13




3.10 Picture 14

-  (10) An area of roof sheathing appears to be soft, settled or missing. Unable to observe sheathing from attic space. Recommend evaluation and repair by a qualified roofing contractor.



3.10 Picture 15

-  (11) The siding is covered with algae. This side of the home appears to be in the shade and the air seems to hold humidity for algae to form. Recommend periodic cleaning.



3.10 Picture 16

3.11 PLUMBING WATER FAUCETS (hose bibs)

Comments: Not Present

The garage was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Stores/Offices/Suites

The building inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of cabinets; and A representative number of doors and windows. The building inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The building inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main overcurrent device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their overcurrent devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The building inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The building inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The building inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The building inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The building inspector shall observe permanently installed heating systems including: Heating equipment; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. Central air conditioning systems including: Cooling and air handling equipment; Distribution systems including: Fans, pumps, ducts and piping, with associated supports, dampers, insulation, air filters, registers, fan-coil units; and The presence of an installed cooling source in each room.

The building inspector shall operate the systems using normal operating controls. The building inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance.

The building inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The building inspector shall describe: Energy source; and Heating/Cooling equipment and distribution type.

The building inspector shall report any observed aluminum branch circuit wiring. The building inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system.

The building inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments. The building inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The building inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable. The building inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials. The building inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms. Operate cooling systems when weather conditions or other circumstances may cause equipment damage; Observe non-central air conditioners; or Observe the uniformity or adequacy of cool-air supply to the various rooms. The building inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any overcurrent device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

Styles & Materials

S/O/S Area Safety:

Emergency Lighting
Exit Signs
Lighting

Side and/or Rear Entryway:

Areaway

Interior Floor Covering(s):

Tile
Wood

Interior Heat Source:

Heating / Cooling Register

Outlet Style (Bathroom):

None

S/O/S Entry Doors:

Steel

Interior Ceiling Materials:

Sheetrock

Interior Doors:

Hollow core

Interior Cooling Source:

Heating / Cooling Register

Laundry Area Location:

None

Front Entryway:

Sidewalk

Interior Wall Material:

Sheetrock

Interior Window Types:

Double-hung

Ventilation (Bathroom):

Fan
Window

Inspection Items

4.0 DOORS (Entry to S/O/S), INTERCOMS & DOORBELLS

Comments: Inspected

4.1 CEILINGS (S/O/S ROOMS)

Comments: Inspected

4.2 WALLS (S/O/S ROOMS)

Comments: Inspected

4.3 FLOORS (S/O/S ROOMS)


Comments: Inspected

4.4 DOORS (S/O/S ROOMS)

Comments: Inspected

4.5 CLOSETS (S/O/S ROOMS)

Comments: Repair or Replace

-  The light was not working. Either the bulb is burned out or the electrical circuit is in need of repair. Replace bulb, otherwise make repairs with a licensed electrician.



4.5 Picture 1

4.6 WINDOWS (S/O/S ROOMS)

Comments: Inspected

4.7 COUNTERTOPS AND A REPRESENTATIVE NUMBER OF CABINETS (S/O/S ROOMS)

Comments: Not Present

4.8 PLUMBING, FIXTURES, DRAINS & VALVES (S/O/S ROOMS)

Comments: Not Present

4.9 OUTLETS, WALL SWITCHES, WIRING AND/OR LIGHTING (S/O/S ROOMS)

Comments: Repair or Replace


-  The ceiling fan was inoperative at time of inspection. The fan needs repair or replacement.



4.9 Picture 1

4.10 STEPS, STAIRWAYS, BALCONIES AND RAILINGS (S/O/S ROOMS)

Comments: Repair or Replace

-  (1) The hand/guard rail for the stairs is missing. A fall or injury could occur if not corrected. A handrail should be installed for safety.



4.10 Picture 1

- 🏠 (2) Stairs appear to steep for safety. Maximum riser heights of 8 to 8-1/4 inches and a minimum tread depth of 9 to 9-1/4 inches are common and typically considered safe.

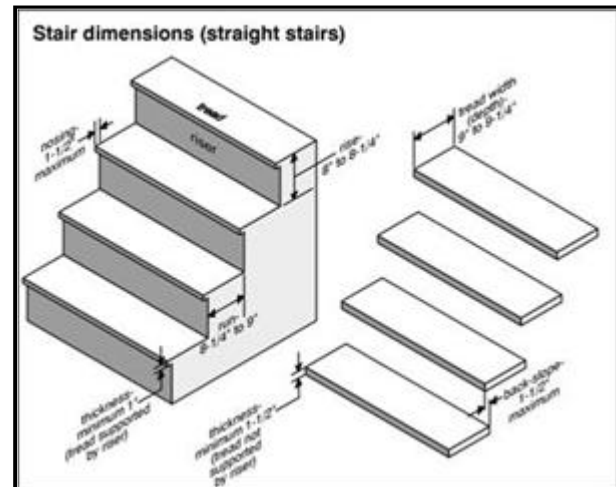
Stairs lack adequate head room for safety. Vertical head room of 78 to 80 inches minimum is common and typically considered safe.

The landing at the top of the stairs is too narrow for safety. Not enough room is present at the top of the stairs to stand or make a safe turn. The landing length is very often at least the width of stair treads.

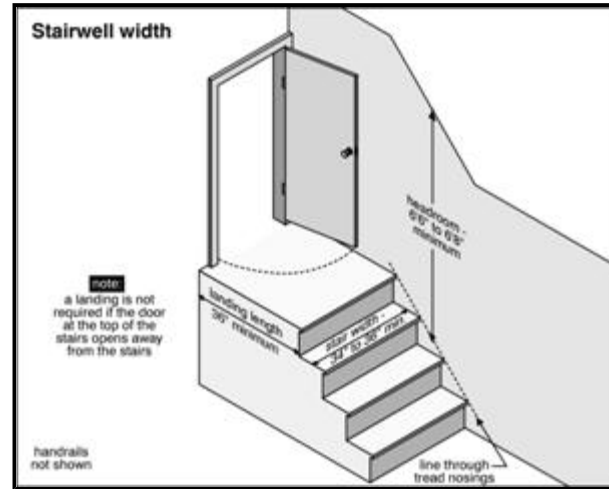
Falling hazards are present due to steepness, head clearance and landing width. Evaluation and repair recommended by a general contractor for safety.



4.10 Picture 2



4.10 Picture 3



4.10 Picture 4

4.11 CEILINGS (REST ROOMS)

Comments: Inspected

4.12 WALLS (REST ROOMS)

Comments: Inspected

4.13 FLOORS (REST ROOMS)

Comments: Inspected

4.14 DOORS (REST ROOMS)

Comments: Inspected

4.15 WINDOWS (REST ROOMS)

Comments: Repair or Replace

- 🏠 (1) The bathroom window is undersized for the frame. When the window slides up and down it gets loose in the frame and has gaps and openings that appear, ingress of moisture and insects past window is possible. The window needs repair or replacement by a qualified window contractor.



4.15 Picture 1

- 🏠 (2) Upper window sashes broken, windows drop uncontrollably, safety hazard. Recommend repair or replacement.



4.15 Picture 2

4.16 PLUMBING SUPPLY, FIXTURES (REST ROOMS)

Comments: Inspected

4.17 PLUMBING DRAIN, WASTE AND VENT SYSTEMS (REST ROOMS)

Comments: Inspected

4.18 LAMPS, OUTLETS AND WALL SWITCHES (REST ROOMS)

Comments: Inspected

4.19 VENTILATION (REST ROOMS)

Comments: Inspected

4.20 WASHER SUPPLY VALVES, HOSES AND DRAIN

Comments: Not Present

4.21 DRYER POWER/FUEL AND VENT PIPING

Comments: Not Present

4.22 WASHER AND DRYER ELECTRICAL OUTLETS

Comments: Not Present

4.23 SLOP SINK, FAUCET AND DRAIN

Comments: Not Present

The dwelling units of this building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Electrical System for Building

The building inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors.

The building inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels.

The building inspector shall report any observed aluminum branch circuit wiring.

The building inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system.

The building inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

Styles & Materials

Electric On:
Yes

Electrical Service Conductors:
Copper

Main Panel Location:
Utility Area

Main Electric Panel Manufacturer: SQUARE D	220 volts Main Panel Capacity: 200 AMP	Main Breaker Size: 200 Amp
Main Panel Type: Circuit breakers	Branch wire 15 and 20 AMP: Copper	Wiring Methods: Romex

Inspection Items

5.0 SERVICE ENTRANCE CONDUCTORS

Comments: Inspected

5.1 MAIN AND DISTRIBUTION PANELS, MAIN OVERCURRENT DEVICE, SERVICE AND GROUNDING EQUIPMENT

Comments: Repair or Replace

- 🏠 (1) Panel cover fasteners are undersized, sharp and pointy posing an electrical fire and safety hazard. The panel cover is not firmly fastened to the electrical panel. Screws may penetrate panel wiring when the cover is refastened. Wires resting against pointed screws may poke through insulation over time to cause a short circuit when least expected. Recommend replacement with the manufacturers recommended fastener, usually a screw with a blunt threaded end.



5.1 Picture 1

- 🏠 (2) Fasteners are missing that hold the electrical panel cover to the circuit breaker box. A safety hazard exists because the cover is not fastened securely and may fall off. An electrical shock hazard exists because the cover is not bonded (grounded) directly to the electric breaker box, a layer of sheetrock is between the cover and electrical panel cover. I recommend evaluation and repair by a licensed electrician.



5.1 Picture 2

5.2 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE

Comments: Inspected

5.3 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Comments: Not Present

5.4 SMOKE DETECTORS

Comments: Not Inspected

To obtain the Certificate of Occupancy the home owner typically insures that working smoke detectors are installed near bedrooms and other area of home as required.

5.5 CARBON MONOXIDE DETECTORS

Comments: Not Inspected

To obtain the Certificate of Occupancy the home owner typically insures that working carbon monoxide detectors are installed near bedrooms and other area of home as required.

The electrical system of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Plumbing System for Building

The building inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps.

The building inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device.

The building inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance.

The building inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

Styles & Materials

Gas On:

Yes

Gas Shut Off Location:

Closet

Utility Room Area

Water On:

Yes

Water Supply:

City

Water Shut Off Location:

Utility Room Area

Water Filters:

None

Plumbing Water Supply (into building):

Copper

Plumbing Water Distribution (inside building):

Copper

Waste Disposal:

City

Plumbing Waste:

PVC

Cast iron

House Water Heater Manufacturer:

RHEEM

House Water Heater Capacity:

15 Gallon

House Water Heater Age:

7+ Years

House Water Heater Power Source:

Electric

Inspection Items

6.0 MAIN WATER SHUT-OFF DEVICE (Describe location)

Comments: Inspected

6.1 MAIN & HOUSE FUEL SHUT OFF (Describe Location)

Comments: Inspected

6.2 INTERIOR WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.3 FUNCTIONAL FLOW (water volume test)

Comments: Inspected

6.4 HOUSE HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

Comments: Inspected

6.5 INTERIOR, PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

6.6 SUMP PUMP

Comments: Not Present

6.7 FUEL DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Comments: Inspected

6.8 CENTRAL VACUUM EQUIPMENT

Comments: Repair or Replace

- 🏠 Extension cords should not be permanently installed as an outlet, remove for electrical and fire safety. I recommend an electrician install a local outlet near the vacuum.



6.8 Picture 1



6.8 Picture 2

The plumbing in the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant building waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Heating / Central Air Conditioning - House

The home inspector shall observe permanently installed heating systems including: Heating equipment; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. Central air conditioning systems including: Cooling and air handling equipment; Distribution systems including: Fans, pumps, ducts and piping, with associated supports, dampers, insulation, air filters, registers, fan-coil units; and The presence of an installed cooling source in each room.

The home inspector shall describe: Energy source; and Heating/Cooling equipment and distribution type.

The home inspector shall operate the systems using normal operating controls.

The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance.

The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms. Operate cooling systems when weather conditions or other circumstances may cause equipment damage; Observe non-central air conditioners; or Observe the uniformity or adequacy of cool-air supply to the various rooms.

Styles & Materials

Heat System Brand - House:
RHEEM

Heat Type - House:
Forced Air

Heating Equipment Energy Source - House:
Natural gas

Heat Equipment Age - House:
6+ Years

Central Air Manufacturer - House:
RHEEM

Cooling Equipment Type - House:
Central Air Conditioning

Cooling Equipment Energy Source - House:
Electricity

AC System Age - House:
6+ Years

AC System Temperature Differential - House:
Not operated because temperature is below 55 degrees Not operated because temperature is below 55 degrees Not operated because temperature is below 55 degrees

Ductwork - House:
Non-insulated

Filter Location - House:
HVAC local Ductwork

Filter Type - House:
Cartridge Disposable

Inspection Items

7.0 HEATING EQUIPMENT / AIR HANDLER

Comments: Repair or Replace

- █ A leak is present in the exhaust piping of the furnace. The leak is causing rust and corrosion of the furnace burner and cabinet assembly. Moisture is dripping from the furnace cabinet onto the utility closet floor. The floor is becoming damaged from moisture. Moisture is dripping back through the furnace exhaust either from flue gas condensation or a leak (installed intake and exhaust reversed?) in the exterior vent pipe. I recommend evaluation and repair by a qualified HVAC technician.



7.0 Picture 1



7.0 Picture 2



7.0 Picture 3



7.0 Picture 4

7.1 CHIMNEYS, FLUES AND VENTS (Interior: Heat systems)

Comments: Inspected

7.2 HUMIDIFIER

Comments: Not Present

7.3 COOLING EQUIPMENT / AIR HANDLER

Comments: Repair or Replace

- (1) The A/C systems were not tested for proper operation due to the outside air temperature being 55 degrees or less. Operating AC systems in cold weather may lead to compressor damage. Consult with the home owner as to the last date of operation and service. Consult with your attorney on how to minimize the risk of the AC systems not operating when warm weather returns.
- █ (2) Debris from the garden and yard cover the base of the AC condenser. Debris will trap moisture against metallic surfaces to promote rust and corrosion. Debris in cooling fins will reduce cooling efficiency. I recommend placing the AC condenser(s) on a pad and regrading garden surfaces to keep condensers free of garden and yard debris.



7.3 Picture 1

- 🏠 (3) The holes where the refrigerant lines pass through the siding should be sealed and plugged to prevent the ingress of moisture, insects and vermin.



7.3 Picture 2

7.4 NORMAL OPERATING CONTROLS

Comments: Inspected

7.5 AUTOMATIC SAFETY CONTROLS

Comments: Inspected

7.6 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, registers, radiators, fan coil units and convectors)

Comments: Inspected

7.7 HEATING / COOLING AIR FILTERS (Locations)

Comments: Repair or Replace

(1) After you first move in, recommend inspecting every two weeks during heating or cooling season. If filter does not appear dirty then wait longer to check for dust build up. You will eventually figure out how often to change filter. If you can see dust on the filter, it is probably worth changing or cleaning. A totally clogged filter will cause the HVAC system to run inefficiently.

- 🏠 (2) The closet door blocks changing the HVAC system filter. Recommend altering doors or moving filters for easier access.



7.7 Picture 1

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Structural Components

The building Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof.

The building inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure.

The building inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.

The building inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the building inspector or other persons.

Styles & Materials

Foundation:

Not Visible, Hidden From View
Poured Slab

Basement/Lower Level Floor:

Concrete Slab

Floor Structure:

Not Visible, Hidden From View

Floor System Insulation:

Not Visible, Hidden From View

Wall Structure:

Not Visible, Hidden From View

Columns or Piers:

Not Visible, Hidden From View

Crawlspace Location:

No Crawlspace

Inspection Items

8.0 FOUNDATIONS (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)

Comments: Inspected

8.1 CRAWLSPACES (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)

Comments: Not Present

8.2 VENTILATION OF FOUNDATION AREAS (crawlspaces or basement)

Comments: Not Present

8.3 VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)

Comments: Not Present

8.4 INSULATION UNDER FLOOR SYSTEM

Comments: Not Present

8.5 FLOORS (Structural, Beams, Joist, etc.)

Comments: Inspected

8.6 WALLS (Structural)

Comments: Inspected

8.7 CEILINGS (structural)

Comments: Inspected

8.8 COLUMNS OR PIERS

Comments: Not Present

8.9 INSTALLED RADON SYSTEM

Comments: Not Present

The structure of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To All In One Home Inspection LLC

General Summary



All In One Home Inspection LLC

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Customer

Commercial Property Sample Report

Address

Street

City State Zip

Please read the Introduction and Chapter 1 of "How to Operate Your Home". There may be useful tips on what to look for during the pre-closing walk through and what to do the first few days in your new home.

We also advise that the first few weeks in your new home that you monitor the function of your installed system and appliances for proper operation. In particular:

- The first few rain storms observe that the downspouts and leaders are carrying water away from the foundation in a satisfactory way.
- Make sure that pipes, hoses and drains to and from dishwashers, washing machines and refrigerator ice makers are free of leaks when operated.
- During the home inspection the operational check of appliances are cursory in nature to demonstrate basic functionality. Monitor operation of refrigerators, dishwashers, washing machines, dryers, etc. for satisfactory functionality.

Please note the following about possible conditions of the inspected home:

- Health - Lead Paint & other Lead products - Lead may be found in paint, plumbing and water. Please note we do not inspect for the presence of lead. When the presence of Lead is a concern, we recommend consulting with a licensed Lead Inspection Company.
- Health - Asbestos - Many common building materials are known to latently contain asbestos. During the inspection we visually look for the presence of friable (loose) Asbestos. If during the inspection we observe possible presence of asbestos, we suggest positive identification be provided through lab analysis of samples.
- Chimney Flue - Due to the nature of the chimney flue's construction the internal portions of the flue are not readily accessible and as such are not included in this inspection. A separate chimney inspection should be considered when evidence suggests that there may be internal chimney and/or flue damage from moisture, poor flue drafts, chimney fires, mechanical impact, etc.
- Septic Systems - Homes with septic waste systems should always be inspected and tested by a qualified septic inspection company to check for proper design and operation prior to the home's purchase.


The following items or discoveries indicate that these systems or components do not function as intended or adversely affects the habitability of the dwelling; or appear to warrant further investigation by a specialist, or requires

subsequent observation. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function, efficiency, or safety of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.








1. Exterior

1.0 WALL CLADDING, FLASHING AND TRIM

Repair or Replace

-  (1) The subject house appears to be clad with a product known as Exterior Insulation Finish Systems, "EIFS," also referred to as "Synthetic Stucco." EIFS trim and siding is generally not considered a problem if exposed surfaces are in good condition and where the EIFS trim meets the siding the sealant is without gaps or cracks. Annual maintenance recommendations for EIFS trim and siding includes visually examining and repairing damage to the EIFS trim and the sealant.

Many EIFS clad homes or buildings have revealed moisture related problems such as deteriorated wood sheathing and framing from moisture leakage past EFIS trim and siding. The EFIS trim and siding tends to trap and hold moisture behind siding against sheathing and framing. Testing of this cladding is beyond the scope of this inspection. Maintenance and testing guidelines are available from the EIFS Industry Members Association, www.eima.com. Additional information about EIFS stucco is also available at http://en.wikipedia.org/wiki/Exterior_Insulation_Finishing_System and the Consumer Reports website <http://www.consumerreports.org> (type Stucco in the search field).

-  (2) EFIS siding should terminate 6" to 12" above grade level so it does not draw water up into wall. Water in the wall can lead to algae buildup on EFIS siding, mold buildup behind EFIS siding, and rot in wood siding and structural components. A lower trim piece called a drip screed is missing. The drip screed provides a finished edge, allows drainage and prevents water from being drawn up into wall. Evaluation and repair recommended by a qualified EFIS siding contractor.
-  (3) The EFIS siding has nicks, dings or holes in several places. Repair siding to prevent the ingress of insects or moisture past siding to damage the interior spaces of home. Evaluation and repair recommended by a qualified EFIS siding contractor.
-  (4) The EFIS siding has a hole where the communication wire has pulled out. Repair siding to prevent the ingress of insects or moisture past siding to damage the interior spaces of home. Evaluation and repair recommended by a qualified EFIS siding contractor.
-  (5) The gap between the electrical conduit and siding needs closing off with sealant or liquid foam to prevent the ingress of moisture, insects and vermin.
-  (6) EFIS siding at grade level is damaged from lawn maintenance equipment. EFIS siding should terminate 6" to 12" above grade level so it does not draw water up into wall. A lower trim piece called a drip screed is missing. The drip screed provides a finished edge, allows drainage and prevents water from being drawn up into wall. Evaluation and repair recommended by a qualified EFIS siding contractor.
-  (7) The gaps and cracks where the EFIS siding meets the door and window frames caulked to prevent the ingress of damage causing moisture behind siding. Moisture behind siding can lead to rot and mold build up of siding and structural components.
-  (8) The EFIS siding has been installed around the fence post. The gaps and cracks where the EFIS siding meets the fence post should be caulked to prevent the ingress of damage causing moisture behind siding. Moisture behind siding can lead to rot and mold build up of siding and structural components.


1.1 EAVES, SOFFITS AND FASCIAS

Repair or Replace

-  The eave trim is loose. Refasten trim to prevent ingress of moisture and insects to interior spaces.

1.3 RECEPTACLES, SWITCHES AND LIGHTS ON EXTERIOR WALLS OF INSPECTED STRUCTURE

Repair or Replace

-  Exterior lights do not illuminate. The bulbs may be burned out, the switches broken or the lamp light sockets broken. Replace bulbs and try to operate lamp, otherwise repair recommended by a licensed electrician.

1.4 EXTERIOR VENTS

Repair or Replace


-  The exhaust vent is missing its flapper or louvers. Vermin and insect ingress past the vent opening is

1. Exterior

possible unless repaired or replaced by a qualified person or contractor.


1.5 WINDOWS (Exterior)

Repair or Replace

-  Screens missing from several windows. Replace to prevent the ingress of insects and vermin when windows are open.

1.6 ENTRY DOORS & DOOR BELLS, INTERCOMS AND/OR DOOR BUZZERS



Repair or Replace

-  The door latch is stuck closed. Unable to open door at time of inspection. Recommend repair by a qualified person or contractor.

The striker plate is missing from the door frame. The door frame will become damaged trying to hold the door closed. Recommend replacement by qualified person or contractor.



1.9 WALKWAYS AND AREAWAYS (With respect to their effect on the condition of the building)

Repair or Replace

-  (1) The front walk has a low spot where water puddles by the front door. Puddling water may damage the nearby EFIS siding and seep past the front door sill. Dirt collecting at door sill may be wind driven or from splashing water on walk area. Puddled water by front door is a walking and slipping hazard. I recommend repairing the front walk so that water drains away.
-  (2) The walk has cracks and is uneven. Tripping hazard present. I recommend repair by a qualified contractor.


1.10 DRIVEWAYS (With respect to their effect on the condition of the building)

Repair or Replace

-  (1) The driveway is cracked, pitted and crumbling. Slipping and tripping hazards are present. Driveway is in need of replacement.
-  (2) Driveway overgrown with weeds. Recommend removal to prevent tripping hazards. The weeds are growing up between cracks in driveway. Recommend replacing driveway to prevent further weed growth.

1.13 FENCES (With respect to their effect on the condition of the building)


Repair or Replace

-  The fencing gate is damaged. The gate is in need of repair to swing closed and latch for security. Recommend repair or replacement by a qualified fence contractor.

2. Roofing, Roof Structure, Chimneys, and Attic



2.2 ROOF PENETRATIONS

Repair or Replace

-  The flashing boot around the plumbing vent pipe appears to be pushed in. The flashing boot may collect and seep moisture into the attic and interior spaces of home. The flashing around the plumbing vent needs repair.

2.4 ROOF DRAINAGE SYSTEMS

Repair or Replace


-  (1) Drainage around downspout and leader appears to puddle against foundation. Puddling against foundation can cause damage to structure and leakage into basement or crawlspace areas. Recommend regrading earth around structure and/or extending leaders to carry rain water further from foundation area.
-  (2) Downspout brackets are loose in several places leaving the downspouts with limited support. Repair brackets so that downspouts remain in place.

3. Garage

3.0 GARAGE CEILINGS


3. Garage

Repair or Replace

-  Cracks in the sheet rock in of tape, spackle and paint repairs.



3.2 GARAGE FLOOR

Repair or Replace

-  Signs of debris and moisture stains present on garage floors. The garage door may have been left open for the collection of debris. Repair door seals and drainage around front of garage door to prevent further moisture penetration. The garage door may have been left open for the collection of debris.


3.4 GARAGE DOOR OPERATORS (Report whether or not doors will reverse when met with resistance)

Repair or Replace

-  (1) Left Side - The safety beam is not mounted on wall. The garage door does not want to close when operated. Repair needed for safety and normal operation of garage door.
-  (2) Right Side - The automatic door opener safety beam is out of alignment or has a dirty sensor lens causing the garage door to not close. The beam needs to be realigned or repaired to allow normal opening and closing.




3.6 GARAGE WINDOW(S)

Repair or Replace

-  Windows have been secured with a material that does not appear to be a traditional exterior siding material. Recommend evaluation and repair by a qualified siding contractor or general contractor.









3.9 GARAGE STRUCTURE - ROOF STRUCTURE, WALL FRAMING AND FOUNDATION

Repair or Replace

-  (1) Vermin damage present in several areas around foundation. Vermin have dug through earth to enter closed garage area. Sills, framing and sheet rock walls have been damaged. Rot present in sill boards along back wall. Recommend evaluation and repair of sills, walls and framing by a general contractor. Recommend removal of vermin by a qualified pest control contractor.
-  (2) The sills plate in the left front corner is rotted and crushed. Signs of wood destroying insect damage present. Sill plates are in need of evaluation and repair by a general contractor. Recommend treatment for the control of wood destroying insects.
-  (3) The attic access is sealed, the attic was nor observable at time of inspection. Recommend installing an attic access hatch.




3.10 GARAGE EXTERIOR & ROOF (Materials, Vents and Drainage)

Repair or Replace

-  (1) Birds nest present in exterior wall of garage. Recommend nest removal and siding repair by a qualified siding contractor.
-  (2) The fascia board is detached and lifting from ends of roof rafters. The fascia board appears to be lifting enough to damage and twist gutters. The fascia needs to be reattached and the gutter refastened for proper roof drainage to occur.
-  (3) The eave trim is missing, the fascia board appears rotted and weathered. Refasten trim to prevent ingress of damage causing moisture and insects to interior spaces.
-  (4) Vinyl siding below grade level. Siding below grade level will remain moist and be a path for the entrance of Wood Destroying Insects (WDI). Re-grade earth around garage so that siding is above soil/debris and a some foundation is exposed making it more difficult for WDI to enter.
-  (5) Downspouts are missing. Water may run down siding, splash against foundation and puddle against foundation during rain storms. Puddling water against foundation may leak into basement causing moisture damage. Downspout repair is recommended.
-  (6) Garage door trim is damaged. The door trim helps hold siding in place and helps guide rain running down siding. Trim is in need of replacement by a qualified siding contractor.
-  (7) The gutters are full of debris in areas and needs to be cleaned. Debris in gutters are blocking downspouts, causing gutter overflows and rain splatter onto siding and foundation. Cleaning of gutters is recommended to prevent unwanted water damage to exterior and interior of home. Consider installing gutter guards to help prevent build up of debris in gutters.
-  (8) The holes in the siding should be repaired or replaced by a qualified siding contractor to prevent the

3. Garage


ingress of moisture, insects or vermin.

-  (9) Several fasteners are popped up under the shingles of the roof's surface. These fasteners should be driven back down before they puncture through the overlaying shingle, shortening the life of the shingles and causing leakage. I recommend repair by a qualified roofing contractor.
-  (10) An area of roof sheathing appears to be soft, settled or missing. Unable to observe sheathing from attic space. Recommend evaluation and repair by a qualified roofing contractor.
-  (11) The siding is covered with algae. This side of the home appears to be in the shade and the air seems to hold humidity for algae to form. Recommend periodic cleaning.

4. Stores/Offices/Suites


4.5 CLOSETS (S/O/S ROOMS)

Repair or Replace

-  The light was not working. Either the bulb is burned out or the electrical circuit is in need of repair. Replace bulb, otherwise make repairs with a licensed electrician.



4.9 OUTLETS, WALL SWITCHES, WIRING AND/OR LIGHTING (S/O/S ROOMS)

Repair or Replace

-  The ceiling fan was inoperative at time of inspection. The fan needs repair or replacement.

4.10 STEPS, STAIRWAYS, BALCONIES AND RAILINGS (S/O/S ROOMS)

Repair or Replace

-  (1) The hand/guard rail for the stairs is missing. A fall or injury could occur if not corrected. A handrail should be installed for safety.
-  (2) Stairs appear to steep for safety. Maximum riser heights of 8 to 8-1/4 inches and a minimum tread depth of 9 to 9-1/4 inches are common and typically considered safe.



Stairs lack adequate head room for safety. Vertical head room of 78 to 80 inches minimum is common and typically considered safe.

The landing at the top of the stairs is too narrow for safety. Not enough room is present at the top of the stairs to stand or make a safe turn. The landing length is very often at least the width of stair treads.

Falling hazards are present due to steepness, head clearance and landing width. Evaluation and repair recommended by a general contractor for safety.

4.15 WINDOWS (REST ROOMS)


Repair or Replace

-  (1) The bathroom window is undersized for the frame. When the window slides up and down it gets loose in the frame and has gaps and openings that appear, ingress of moisture and insects past window is possible. The window needs repair or replacement by a qualified window contractor.
-  (2) Upper window sashes broken, windows drop uncontrollably, safety hazard. Recommend repair or replacement.


5. Electrical System for Building

5.1 MAIN AND DISTRIBUTION PANELS, MAIN OVERCURRENT DEVICE, SERVICE AND GROUNDING EQUIPMENT

Repair or Replace

-  (1) Panel cover fasteners are undersized, sharp and pointy posing an electrical fire and safety hazard. The panel cover is not firmly fastened to the electrical panel. Screws may penetrate panel wiring when the cover is refastened. Wires resting against pointed screws may poke through insulation over time to cause a short circuit when least expected. Recommend replacement with the manufacturers recommended fastener, usually a screw with a blunt threaded end.


5. Electrical System for Building

-  (2) Fasteners are missing that hold the electrical panel cover to the circuit breaker box. A safety hazard exists because the cover is not fastened securely and may fall off. An electrical shock hazard exists because the cover is not bonded (grounded) directly to the electric breaker box, a layer of sheetrock is between the cover and electrical panel cover. I recommend evaluation and repair by a licensed electrician.

6. Plumbing System for Building

6.8 CENTRAL VACUUM EQUIPMENT


Repair or Replace

-  Extension cords should not be permanently installed as an outlet, remove for electrical and fire safety. I recommend an electrician install a local outlet near the vacuum.

7. Heating / Central Air Conditioning - House



7.0 HEATING EQUIPMENT / AIR HANDLER

Repair or Replace

-  A leak is present in the exhaust piping of the furnace. The leak is causing rust and corrosion of the furnace burner and cabinet assembly. Moisture is dripping from the furnace cabinet onto the utility closet floor. The floor is becoming damaged from moisture. Moisture is dripping back through the furnace exhaust either from flue gas condensation or a leak (installed intake and exhaust reversed?) in the exterior vent pipe. I recommend evaluation and repair by a qualified HVAC technician.


7.3 COOLING EQUIPMENT / AIR HANDLER

Repair or Replace

-  (2) Debris from the garden and yard cover the base of the AC condenser. Debris will trap moisture against metallic surfaces to promote rust and corrosion. Debris in cooling fins will reduce cooling efficiency. I recommend placing the AC condenser(s) on a pad and regrading garden surfaces to keep condensers free of garden and yard debris.
-  (3) The holes where the refrigerant lines pass through the siding should be sealed and plugged to prevent the ingress of moisture, insects and vermin.

7.7 HEATING / COOLING AIR FILTERS (Locations)

Repair or Replace

-  (2) The closet door blocks changing the HVAC system filter. Recommend altering doors or moving filters for easier access.

Home inspectors are not required to report on the following:

- Life expectancy of any component or system;
- The causes of the need for a repair;
- The methods, materials, and costs of corrections (If provided, cost of correction estimates from All In One Home Inspection LLC are for informational purposes only and should not be used in place of actual quotations from qualified contractors in evaluating the impact of repairs for the home.);
- The suitability of the property for any specialized use;
- Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions;
- The market value of the property or its marketability;
- The advisability or inadvisability of purchase of the property;
- Any component or system that was not observed;
- The presence or absence of pests such as wood damaging organisms, rodents, or insects;
- Cosmetic items, underground items, or items not permanently installed.

Home inspectors are not required to:

- Offer warranties or guarantees of any kind;
- Calculate the strength, adequacy, or efficiency of any system or component;
- Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons;
- Operate any system or component that is shut down or otherwise inoperable;
- Operate any system or component that does not respond to normal operating controls;
- Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility;
- Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air;
- Determine the effectiveness of any system installed to control or remove suspected hazardous substances;
- Predict future condition, including but not limited to failure of components.

Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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